

## CHURCH CROOKHAM

There are five Neighbourhood Areas in Church Crookham: Church Crookham Estates, Gally Hill Road, Queen Elizabeth Barracks, Sandy Lane Triangle, and Zebon Copse.

### 1.7 CHURCH CROOKHAM ESTATES NEIGHBOURHOOD AREA

#### LOCATION

This area lies to the south of the Basingstoke Canal and extends southward to Aldershot Road either side of Reading Road South. It includes a large part of Church Crookham (south of Florence Road), as well as a part of Fleet detached from the main area by the Basingstoke Canal although there is little, if any, visible distinction between the two settlements. The Gally Hill Road area lies to the west, whilst Velmead Woods lie to the east.

#### HISTORY

In the late 19th century much of this area was covered by pine forest divided into numerous large rectangular lots. The routes of Reading Road South, Aldershot Road and Velmead Road had been established by 1873, with the focus of housing development around the junction of Velmead Road and Reading Road South. A large house at Dinorben Court lay in the north of the area with extensive surrounding parkland. Another large area is labelled as Court Moor Park, which was attached to Court Moor House. By 1912 ribbon development had grown along Aldershot Road and along several small roads just to the north. Elsewhere new buildings were gradually spreading out from the focus near Velmead Road, including the development of Castle Street and the east end of Basingbourne Road.

Inter-War developments included the establishment of Courtmoor Avenue, Florence Road and Queens Road and an extension to Basingbourne Road, as well as ribbon development along Reading Road South. A number of large houses were also built within the grounds of Dinorben Court. Large housing estates were developed across this area, making use of spacious land parcels such as Court Moor Park from the 1950s up to the present day, often with a distinctive character. Incremental infill developed has also continued elsewhere.

#### GENERAL DESCRIPTION

This is a large and complex area with considerable variety to its built form. The two axial roads of Reading Road south and Aldershot Road provide the structure around which complex street patterns have developed. This includes a number of curving roads which return to Reading Road South, as well as long, straight streets built at an axis to it. Many of these roads have short cul-de-sacs leading off them. Within this framework, residential estates have been built, although there has also been more piecemeal development along the main roads. The buildings are mainly bungalows and two storey houses, developed in blocks or as mixed groups. Only a few taller blocks, including three small shopping parades, rise to three storeys. A large area of woodland survives in the west of the area, which wraps around the public open space at Basingbourne Avenue.

The junction of Reading Road South and Aldershot Road is an important gateway to the settlement and a key focal point. Parts of Reading Road South stand out as a result of the presence of interesting older houses, a scattering of which are found elsewhere in the area. As with other parts of Fleet, the presence of many tall mature trees in this area provides a distinctive local character.

## DESCRIPTION OF THE CHURCH CROOKHAM ESTATES CHARACTER AREAS

THE PRINCIPAL CHARACTER AREAS ARE:

### **Area A: Late Victorian and Edwardian residential development**

- Detached and semi-detached houses
- Two storeys
- Single, double fronted and some complex plans
- The Prince of Wales Public House stands out as a landmark building.
- Red brick with Welsh slate roofs
- Narrow set-back of two to four metres
- Low brick front garden walls
- Buildings follow a common frontage line built long side to street



Typical Housing Density: 27 units/hectare

Sensitivity to change: High

### **Area B: Late Victorian and Edwardian residential development (Aldershot Road)**

- Detached and semi-detached houses
- Two storeys
- Single, double fronted and some complex plans
- Red brick with Welsh slate roofs
- Narrow set-back of two to four metres
- Buildings follow common frontage line built long side to street
- Unfortunately, modern extensions or other alterations to some of the buildings have obscured their original design and features



Typical Housing Density: 22 units/hectare

Sensitivity to change: Medium

### **Area C: Mixed residential ribbon development**

- Detached and semi-detached housing
- One or two storeys
- Incremental development with a mixture of style and materials
- Some older buildings stand out as of particular interest



Typical Housing Density: 14 units/hectare

Sensitivity to change: Medium

## Area D: Mixed residential side streets

- Detached and semi-detached housing
- One or two storeys
- Incremental development with a mixture of style and materials
- Some areas have a greater proportion of late Victorian (e.g. Grove Road) or Inter-War housing (e.g. Courtmoor Avenue), with particular interest in architectural details and materials
- Some older buildings stand out as of particular interest
- Common building line sometimes set back over five metres from the pavement



Typical Housing Density: 17 units/hectare

Sensitivity to change: Medium

## Area E: Inter-War large houses

- Detached houses of two storeys with hipped roofs
- Use of red brick with plain tile roofs
- Some restrained Art Deco and Arts and Crafts details such as fluted door surrounds, key stones to various openings, and arches created with tile creasing
- The houses are set in large, well treed gardens, some of which have been subdivided for later development
- The buildings are often set at an angle to the street and without a formal building line



Typical Housing Density: 5 units/hectare

Sensitivity to change: High

## Area F: 1950s housing estates

- Large estates built around curvilinear street layout
- Semi-detached houses and bungalows with a small percentage being detached
- Of note are the single fronted pairs of houses with symmetrical elevations to the street
- Normally following a common building with a set back of between three and six metres, some built at an angle to the road
- Some very prominent corner buildings
- Relatively large long plots
- One and two storeys, built from red brick with hipped concrete tile roofs
- Details include flat hoods to front doors, small oriel windows and two storey bay windows

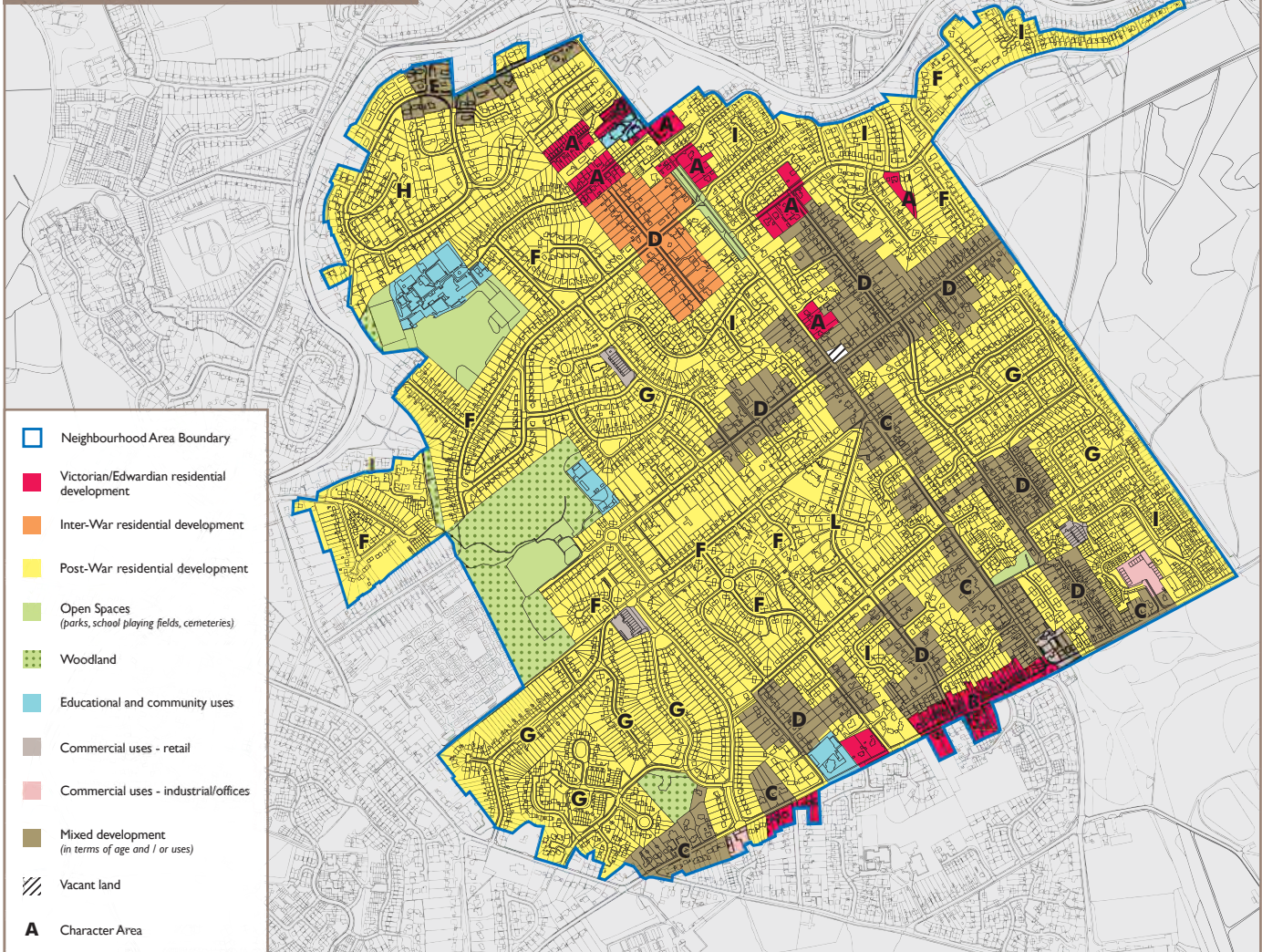


Typical Housing Density: 17 - 18 units/hectare

Sensitivity to change: Medium



## CHURCH CROOKHAM ESTATES NEIGHBOURHOOD AREA



### Area G: 1960s/1970s housing estates

- Large estates built around curvilinear street layout
- Mostly semi-detached properties with some terraces
- One or two storeys, with a high percentage of bungalows
- Normally consistent use of materials within the individual estates
- These include red or orange brick with tile hanging or weatherboarding to the front elevation, or bay windows and white painted render
- A common building line with the buildings either facing the street or in groups with gables to the street
- Long narrow plots are the most common type



Typical Housing Density: 20 - 23 units/hectare

Sensitivity to change: Medium



## Area H: Dinorben Avenue estate

- A large estate developed between the 1960s and 1970s
- Long, narrow detached houses, two storey high
- Built facing the street in wide plots but closely spaced
- Curving street line with several similarly curved cul-de-sacs radiating off
- Abundant mature trees retained throughout, providing a sylvan character
- Large groups of buildings in matching architectural styles including red brick neo-Georgian (e.g. Dinorben Beeches) and Scandinavia-inspired designs with long roof slopes and dormer windows to the first floors



Typical Housing Density: 11 units/hectare

Sensitivity to change: High

## Area I: 1970s/80s housing estates

- These estates retain a high proportion of semi-detached properties
- Styles relatively consistent within individual developments
- Details include inset brick feature panels, tile hanging to first floors elevations, neo-Georgian doorcases, and bay windows.
- The buildings either face the road with a common building line, or are in groups which are set at an angle to the street
- There is little formal division of the front gardens from the pavement



Typical Housing Density: 34 units/hectare

Sensitivity to change: Medium

## Area J: 1960s/1980s flats

- One small area at Wickham Place
- Various large and interconnected blocks of two or three storeys with pitched and mansard roofs
- Built around communal parking areas, although there is also evidence of a general lack of parking
- Areas of communal green open space provide an important amenity



Typical Housing Density: 10 units/hectare (artificially low due to apartment dwellings)

Sensitivity to change: Low

## DESIGN GUIDANCE FOR THE CHURCH CROOKHAM ESTATES NEIGHBOURHOOD AREA

### **Areas A and B**

- Preserve and enhance streetscape by retaining historic buildings, reinforcing the building line and protecting front garden spaces and boundaries
- New development will need to be of a sympathetic design and scale, i.e. two or two and a half storeys and reference the texture and colour of traditional materials

### **Areas C and D**

- Preserve individual historic buildings that make a high contribution to local character and distinctiveness
- Replacement buildings must be of a similar scale and height, up to two and a half storeys
- The amalgamation of plots might be acceptable subject to fitting in with the general character of the area
- New housing should maintain existing building lines and front boundaries should be protected where possible
- A varied tree stock will need to be maintained to ensure the continued contribution of mature tree planting to the character of the area

### **Area E**

- Preserve and enhance this area of High Townscape Value by retaining the houses of high architectural interest with their mature and attractive contemporary landscaping
- Extensions to buildings will need to be sensitively designed

### **Areas F and G**

- These areas have a high degree of architectural uniformity and most of the houses are semi-detached
- Extensions will need to be sensitively designed to preserve the character of the area and should aim to match the existing materials and detailing, particularly roof profiles and feature materials

### **Area H**

- The high sylvan character of this area should be protected in any new development
- Some amalgamation of plots for new development might be used to provide a greater mix of housing
- New development would need to be of a similar scale and materials to existing buildings
- Any new development would have to be accompanied by high quality landscaping to protect the generally high standard of the area's appearance

### **Area I**

- Replacement buildings must be of a similar scale and height
- The amalgamation of plots might be acceptable subject to fitting in with the general character of the area
- New development should preserve the existing building lines

### **Area J**

- Communal green open spaces and pedestrian routes should be protected or enhanced
- Explore potential for improving vehicular access

## 1.8 GALLY HILL ROAD NEIGHBOURHOOD AREA

### LOCATION

This area is located in the western part of Church Crookham and follows the course of Gally Hill Road and Coxheath Road from crossings over the Basingstoke Canal, to a small village centre at the junction of Gally Hill Road and Gables Road. To the south it includes the triangle of streets made up of Gally Hill Road, Aldershot Road and Gables Road with surrounding buildings. Modern development lies to the north, east and west with Army Barracks and a modern garden centre to the south.

### HISTORICAL DEVELOPMENT

This area forms the historic core of Church Crookham and contains a number of roads recorded on Taylor's Map of Hampshire of 1759. This became distinct from Crookham village in 1840 with the foundation of Christ Church. The Basingstoke Canal forms a man-made division between the two settlements. In 1831 the Crookhams had a recorded population of just 623, but still formed a larger settlement than Fleet. In the early 20th century development in this area included a number of large houses in spacious grounds, as well as smaller early and mid 19th cottages, late 19th or early 20th century semi-detached cottages and villas, and a small village centre located around Christ Church. Pine forest ran up to the edge of development to the east, whilst small fields lay directly to the west and south. Later 20th century development has replaced most of the larger houses and their gardens and infilled gaps in the street frontage. The development of the wider area has brought housing estates up to the boundaries of this area. A modern caravan park lies in the east with access from Coxheath Road.

### GENERAL DESCRIPTION

This is an attractive residential area based around a number of narrow tree lined lanes, which are gently sinuous, reflecting their pre-19th century origin. It contains a focus of community buildings and spaces including the primary school, Anglican Church and War Memorial. The development includes a mixture of late Victorian, Edwardian and Inter-War housing as well as later 20th century housing built as both infill ribbon development and small formal developments of cul-de-sacs and other minor streets. A number of older buildings of 18th and early 19th century origin stand out as of particular interest. Properties on the main routes generally are set back from the road in gardens with tall hedges.

Aldershot Road/Redfields Lane is an important arterial road with a heavy traffic load. Gally Hill Road is also affected by busy traffic and forms an important local access road. Gables Road is a no-through road forming a quiet tree-lined back street, with housing to the west set behind a mature tree line. Moreton Close is of more modern with plots either open to the road or defined by low clipped hedges or walls. Cranford Avenue represents an area of speculative late 19th century street planning of different building types but with a strong connection to this Neighbourhood Area. Mature trees make an important contribution to many parts of the area, and are particularly important in views south eastward along Gally Hill Road towards the war memorial.



*The Wyvern, Gally Hill Road*



*The number of well preserved and detailed historic buildings in pleasant surroundings creates areas of High Townscape Value*



## DESCRIPTION OF THE GALLY HILL ROAD CHARACTER AREAS

THE PRINCIPAL CHARACTER AREAS ARE:

**Area A: Late Victorian and Edwardian Housing Development**

- Small groups of houses of late 19th and early 20th century construction
- Detached and semi-detached houses set well back from the road
- Two storeys high, and built from red brick with slate or plain tile roofs
- Detailed ridge tiles and chimney stacks and canted bay windows
- Front garden boundaries defined by tall hedges
- A number of historic public houses, including the 18th century The Old Horns (listed grade II) and The Wyvern stand out as of particular interest.

Typical Housing Density: 11 units/hectare

Sensitivity to change: High

**Area B: Mixed residential development**

- Housing built as incremental ribbon development in groups of one to four properties
- Detached or semi-detached houses set in long plots which create large gardens
- Lack of strong building line contributes to rural character
- One or two storeys high with mixed materials
- Relatively low density
- Individual late Victorian and Edwardian buildings stand out as of interest

Typical Housing Density: 12 units/hectare

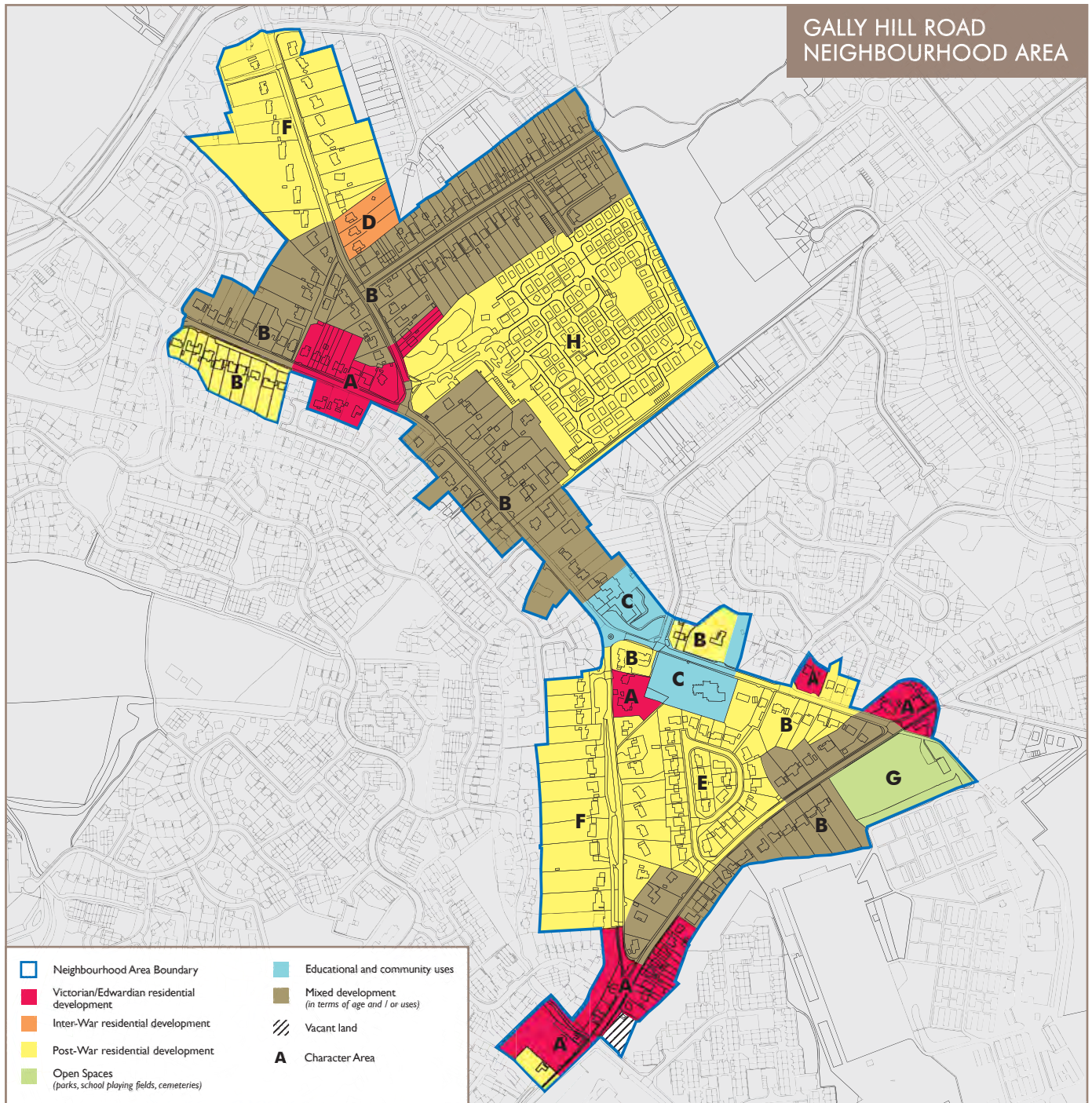
Sensitivity to change: Medium

**Area C: Christ Church and Crookham Infant School**

- Tall, single storey public buildings of mid and later 19th century origin
- Red brick with stone dressings and prominent large gables
- School building lies directly at the back of the pavement
- Open spaces provided by the school playground and the churchyard
- Village war memorial acts as a traffic island and local landmark

Sensitivity to change: High





### Area D: Inter-War residential development

- Small group of two storey contemporary Inter-War houses of one design
- Painted roughcast or Tyrolean render with hipped plain tile roofs
- Prominent two storey bay windows
- Built at offset angle to the street

Typical Housing Density: 8 units/hectare

Sensitivity to change: Medium





**Area E: Moreton Close**

- Small estate of bungalow-style housing around a looped road
- Smallish plots with the front gardens either open to the pavement or defined by low hedges or walls
- A common building line is observed even on the curving frontage

Typical Housing Density: 13 units/hectare

Sensitivity to change: Medium

**Area F: Large 1980 – 2000s residential development**

- Large houses set in spacious plots
- Two storey detached houses usually built facing the road but sometimes also set at an angle
- Details include eyebrow dormers, tile hanging, tiled kneelers to eaves, applied timber frame decoration, complex roof plans and prominent chimney stacks

Typical Housing Density: 8 units/hectare

Sensitivity to change: High

**Area G: Abercorn Playing Field**

- A small privately owned playing field used by Crookham Rovers Football Club
- Small temporary club buildings
- Attractive tree lined open space

Sensitivity to change: High





**Area H: Woodland Rise**

- A private caravan park with a formal road grid accessed via a private road.
- Many mature trees create a sylvan feel
- A central area of communal open space laid to lawn
- Single storey temporary buildings, painted white with shallow pitched roofs
- Buildings in small plots but at varied alignments to the road frontages
- Includes a number of larger buildings providing retail units and other functions



Typical Housing Density: 28 units/hectare

Sensitivity to change: Medium/High

## DESIGN GUIDANCE FOR THE GALLY HILL ROAD NEIGHBOURHOOD AREA

**Area A**

- Preserve and enhance character and appearance by protecting historic buildings, complementary boundary features and tree planting
- New development will need to be sensitively designed maintaining a similar scale of two to two and a half storeys and should reference the materials, colours and detailing of historic buildings
- The development of opportunity sites will need to protect the character of nearby historic buildings through the use of sensitive design, materials and landscaping

**Areas B, D and H**

- Protect historic buildings that make a strong positive contribution to local character and distinctiveness
- New buildings in the setting of historic buildings should be of a similar scale and use carefully chosen materials
- Existing mature tree planting to the front boundaries and further back in private gardens must be preserved

**Area C**

- The village centre feeling of this area should be protected and enhanced through sensitive public realm enhancements
- Traffic calming measures and improved pedestrian crossing may be required at Gally Hill Road

**Area E**

- Protect the uniformity of development in this area
- New development should respect the prevalent scale of one to one and a half storeys, and make use of sensitively chosen material

**Area F**

- Protect the sylvan character of areas with tall trees by maintaining a diverse stock of trees
- Extensions will need to be sympathetic to the character of individual buildings

**Area G**

- Private sporting facilities should be protected as green open spaces and their role as a community resource encouraged

## 1.9 QUEEN ELIZABETH BARRACKS NEIGHBOURHOOD AREA

### LOCATION

This Neighbourhood Area is located to the south of Church Crookham, and forms the southern edge of the Church Crookham Settlement Area. Sandy Lane forms the northern limit to this area.

### DEVELOPMENTAL HISTORY

Part of the barracks site includes land used by the Royal Army as long ago as the First World War. The present facility was built in 1971 as the headquarters of the 1st Battalion of the Gurkha Rifles. Family and officers' quarters were built at Wakefords Park, Quetta Park. The Battalion vacated the barracks in 2000 and they have since remained disused. The married quarters have been sold as private dwellings although one area at Wakefield Copse is currently vacant.

### GENERAL DESCRIPTION

This area has a variety of landscape types and forms a transition from the urban area to the rural land beyond. It includes a large area of woodland, a number of green fields, the Redfields Garden Centre and two small industrial estates. Densely packed housing estates of former military housing stand in the south east and west.

## DESCRIPTION OF QUEEN ELIZABETH BARRACKS CHARACTER AREAS

THE PRINCIPAL CHARACTER AREAS ARE:

### Area A: Old Farm Cottage

- A late 19th century farm and farmhouse standing well back for the road in a large private garden
- Historic farm buildings, now used as a stables to the rear

Sensitivity to change: High



### Area B: Queen Elizabeth Barracks

- A large area of single storey temporary buildings
- Buildings closely spaced in rows with interconnecting covered walkways
- Mostly timber clad with simple pitched roofs
- Large parade grounds adjacent to the west



Sensitivity to change: Low

### Area C: Former military housing

- Estates of mainly closely spaced two storey terraced housing dating to the 1970s
- Wakefield Park includes a mixture of terraced, semi-detached and detached houses
- Red brick or painted render with slate or tile hanging to the first floor elevations
- Pitched concrete tiled roofs, with hipped or pyramid roofs at Wakefield Park
- Very strong building lines and regularly sized plots



Typical Housing Density: 24 - 31 units/hectare

Sensitivity to change: Low

**Area D: Disused former military housing**

- An area of late 20th century semi-detached houses, arranged around a single street ending in a loop
- Similarly sized and all built to a single pattern with a common building line
- Red brick with concrete tiled pitched roofs

Sensitivity to change: Low



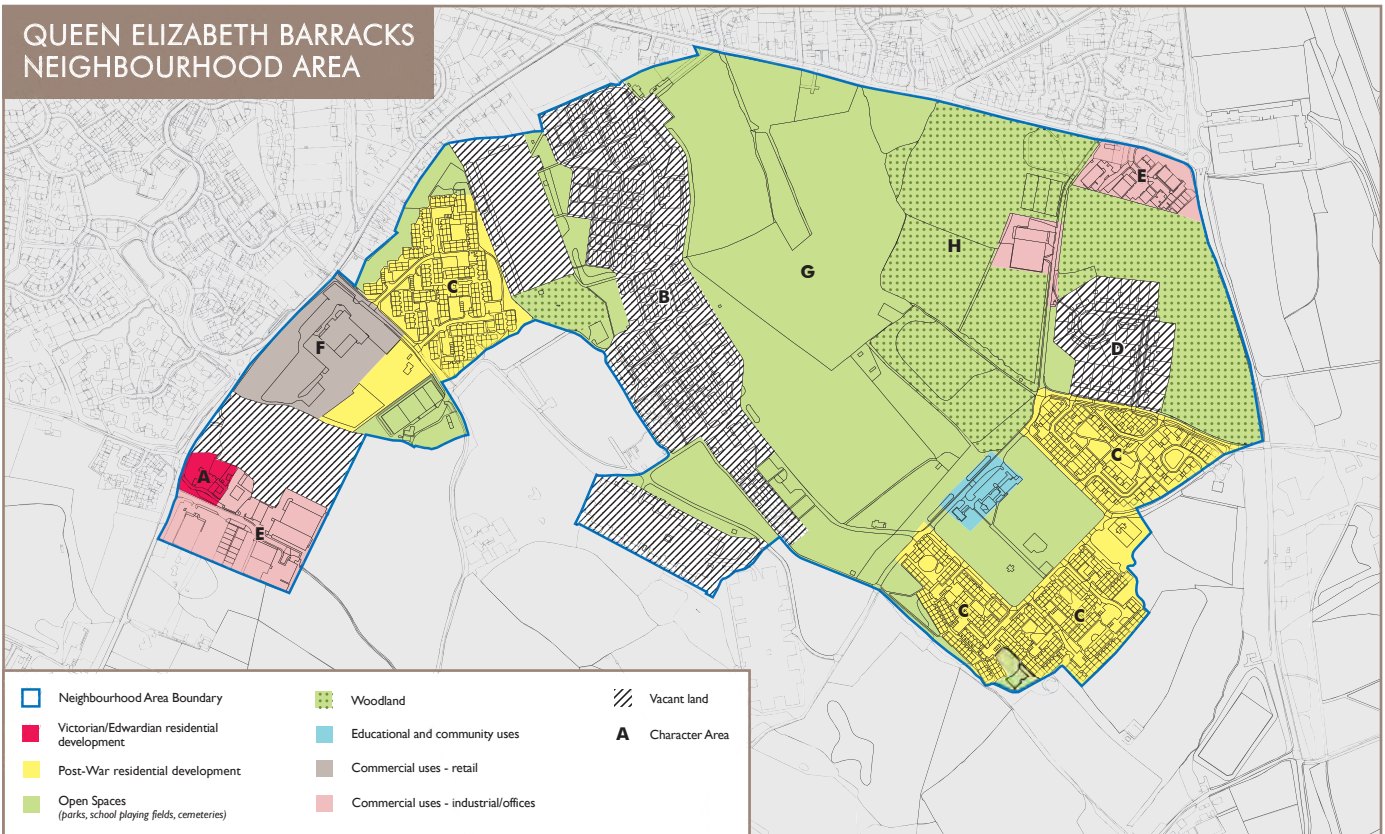
**Area E: Later 20th century industrial estates**

- One and two storey industrial and office buildings
- Large rectangular plan blocks
- Sheet metal roofs are hipped, flat or hidden from view
- Elevations are covered with a variety of modern sheet cladding materials or with red and buff coloured brick
- Well maintained landscaped areas provide attractive surroundings, and reduces the dominance of the surrounding car parking and access roads

Sensitivity to change: Low



QUEEN ELIZABETH BARRACKS NEIGHBOURHOOD AREA





**Area F: Redfields Garden Centre**

- A modern garden centre complex fronting onto Redfields Lane and Ewshot Lane, with car parks, delivery yards and outdoor plant display areas
- A main frontage range of glass and steel construction on a low red brick wall with brick piers
- Mostly single storey with large greenhouse-type buildings to the rear
- Post and rail boundary to Redfields Lane provides a rustic boundary feature
- Other buildings to the rear of the garden centre include a large private house in substantial grounds and the Avondale Lawn Tennis Club, a modern facility with high level floodlighting.

Sensitivity to change: Low



**Area G: Fields and open space at Queen Elizabeth Barracks**

- Important views across this area from Sandy Lane
- Some attractive pasture fields and tree lines in the north

Sensitivity to change: Medium



**Area H: Soanes Copse and Wood Copse**

- A large area of well established broadleaf woodland – the northern part is recorded on the 1873 map and the southern portion was planted in the second half of the 20th century
- High potential value for ecology
- A large building in this area is an early 20th century military riding school

Sensitivity to change: High



## DESIGN GUIDANCE FOR THE QUEEN ELIZABETH BARRACKS NEIGHBOURHOOD AREA

**Area A**

- The rural character of this property should be protected by preserving the generous front garden plot
- The historic farmhouse and buildings should be protected
- Potential development of the vacant land directly to the east should aim to preserve a green edge to the farmhouse and its garden

**Area B**

- These areas provide opportunities for redevelopment
- There is a need to protect views north west from Quetta Park to the countryside beyond and south westwards from Sandy Lane
- Given the wooded surroundings building heights up to three storeys may be acceptable

**Area C**

- Terraced housing in very constrained plots provides few opportunities for redevelopment
- Opportunities to provide a greater mixture of housing should be encouraged
- Development will need to improve privacy between properties in these areas
- High quality public open spaces at Quetta Park should be protected

**Area E**

- The modern character at these estates is in-keeping with their high-tech businesses
- New development should aim to preserve or enhance the woodland landscaping characteristic of Church Crookham

**Area F**

- The expansion of this large business premises should aim to reinforce the gateway to Church Crookham, and protect the adjacent sensitive areas in its setting including historic housing on Aldershot Road and Redfields Lane, the narrow rural lane (Ewshot Lane) and the setting of the Old Horns Public House
- Development should remain at one storey but could break forward from the current building line
- Ideally, landscaping should include the development of a well-spaced tree line on Redfields Lane

**Area G**

- Ideally at least part of these green spaces should be retained within any redevelopment of the former barracks site
- The small fields with mature tree lines adjoining the Sandy Lane area are of particular landscape value and should be retained as a green open space, potentially forming a small park

**Area H**

- Protect areas of high ecological value and forestry land

## 1.10 SANDY LANE TRIANGLE NEIGHBOURHOOD AREA

### LOCATION

This Neighbourhood Area on the southern edge of Church Crookham is formed by an area of housing which lies between a roughly triangular network of roads created by Sandy Lane to the south, Beacon Hill Road to the east, and Aldershot Road to the north west.

### HISTORICAL DEVELOPMENT

The earliest housing in this area was focused at the west end of Sandy Lane. A single cottage is recorded on Tweseldown Road on the map of 1873. By 1910 both areas had developed as small areas of ribbon development, whilst Atbara Road had been established as a north – south aligned road. A Royal Army Medical Corps (RAMC) Depot (actually a training centre) was established between Aldershot Road and Tweseldown Road around the time of the First World War, whilst a small Royal Army barracks lay to the south of Tweseldown Road. Development of housing on Atbara Road began during the Inter-War period although infill development has continued until the start of the 21st century. Land to either side of Atbara Road was developed for cul-de-sacs of semi-detached housing in the 1970s. The former RAMC depot and barracks were redeveloped during the 1980s and 1990s for larger housing estates, providing a mixture of housing types.

### GENERAL DESCRIPTION

The Sandy Lane Triangle is an area of mainly late 20th century residential development set away from busy traffic routes. Around its edges, and also cutting across it, are long straight roads with abundant mature trees which provide attractive views. Off these roads, the sinuous layout of the more modern streets create enclosed areas with a more private character, with a number of scattered mature trees. Large areas of public open space and the school playing fields relieve the built up-character of the area, with grass verges separating the footpaths from the roadway. Whilst most of the buildings are Post-War, small groups of Victorian, Edwardian and Inter-War houses provide some architectural and historic interest to the area.

## DESCRIPTION OF QUEEN ELIZABETH BARRACKS CHARACTER AREAS

THE PRINCIPAL CHARACTER AREAS ARE:

### Area A: Mixed Residential Development

- Incremental residential development
- One to two and a half storeys
- Late Victorian, Edwardian and Inter-War buildings stand out as of interest
- Informal building line
- Tall hedge boundaries to front gardens
- Gravel road surface at Atbara Road
- Mixture of materials including red brick and white painted render or roughcast
- Welsh slate and plain tile hipped or pyramid roofs

Typical Housing Density: 13 units/hectare

Sensitivity to change: High



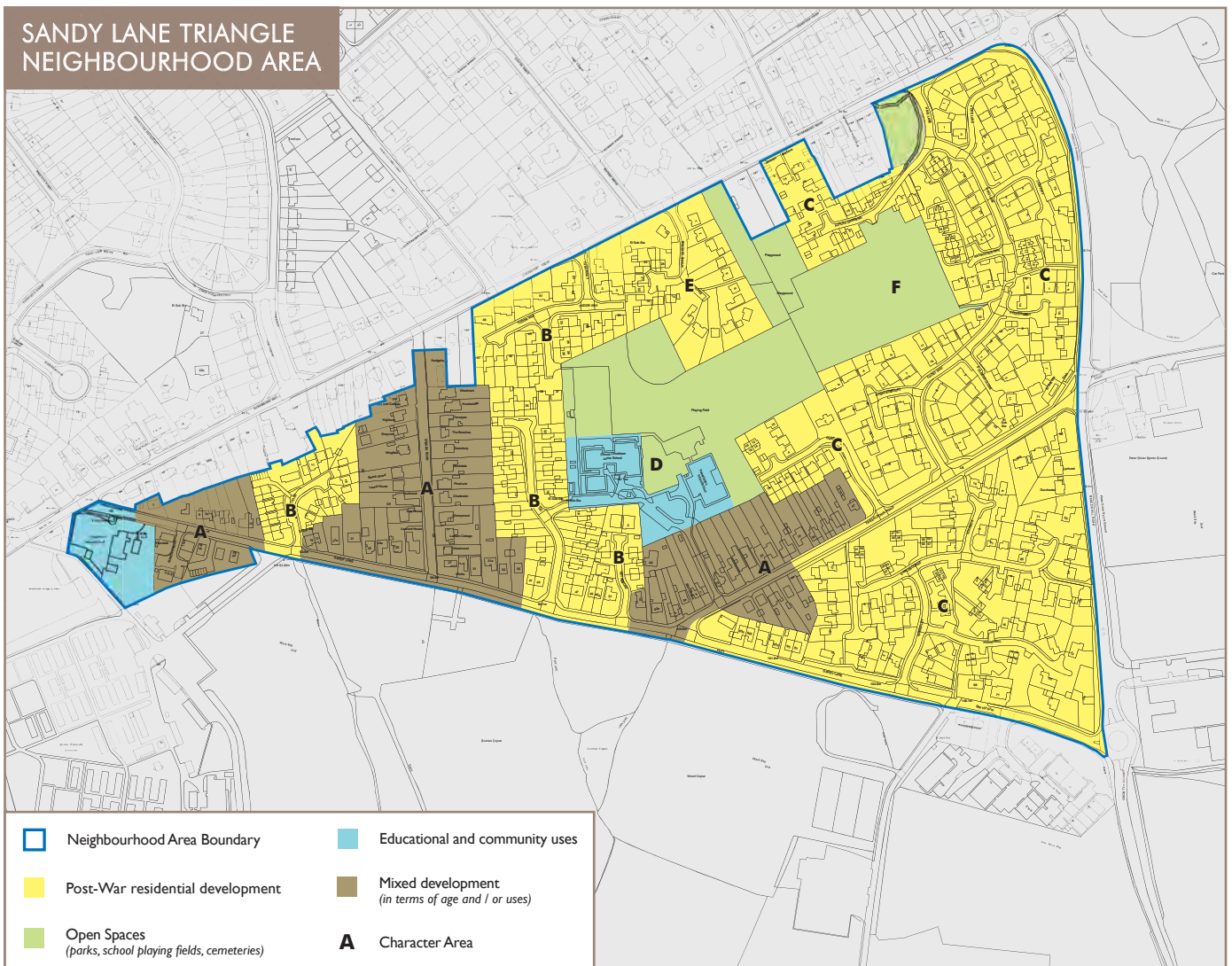


**Area B: 1970s – 1980s cul-de-sac housing**

- Includes a high proportion of semi-detached properties
- Styles relatively consistent within individual developments
- Details include inset brick feature panels, tile hanging to first floors elevations, neo-Georgian doorcases, and bay windows.
- Buildings face the street along a common building line or can be set back at a matching angle

Typical Housing Density: 18 units/hectare

Sensitivity to change: Medium


**SANDY LANE TRIANGLE  
NEIGHBOURHOOD AREA**


**Area C: 1980s – 1990s mixed housing developments**

- Areas of medium sized and larger houses in cul-de-sacs within larger estates
- Two storeys and mainly detached properties
- A small proportion of smaller houses built as back-to-back terraced groups
- Brown, red or plum coloured brick with applied timber frame details or tile hanging
- Broad roads with grass verges
- Only limited active frontages to the surrounding main roads



Typical Housing Density: 19 units/hectare

Sensitivity to change: Medium

**Area D: Church Crookham Junior School**

- Large blocks of 1970s and 2000s construction
- One to two storeys high
- Large playing fields and hard surface courts and other landscaped play areas
- Most recent blocks clad with white and coloured panels with various shading canopies



Sensitivity to change: Medium

**Area E: Early 21st century mixed housing**

- Large detached housing in cul-de-sac with an associated area of smaller terraced and semi-detached housing around a square court
- Large houses with timber frame and brick nogging decoration
- Set back from the street frontage with long front gardens and encircling building line to cul-de-sac
- Small houses in red brick and painted render with little division from public spaces
- Formal building line to court area.
- Shared surfaces and communal parking areas



Typical Housing Density: 24 units/hectare

Sensitivity to change: Medium

**Area F: Azalea Gardens Park**

- A large grassed open space including a children's playground bordered to the west by a tree line but otherwise surrounded by late 20th century two storey housing

Sensitivity to change: Medium

**DESIGN GUIDANCE FOR THE SANDY LANE TRIANGLE NEIGHBOURHOOD AREA****Area A**

- Protect late Victorian, Edwardian and Inter-War buildings which make an important contribution to local character and distinctiveness
- Extensions to these buildings will need to be sensitive to their character and appearance, using matching materials and roof profiles
- The amalgamation of plots for new development should seek to preserve the rhythm of plot widths along main frontages and building setbacks
- Seek to preserve the use of hedges as front boundaries

**Areas B, C and E**

- Replacement buildings must be of a similar scale and height
- The amalgamation of plots might be acceptable subject to fitting in with the general character of the area
- Replacement of individual buildings would be acceptable subject to reaching a high quality of design

**Area F**

- Protect this parkland as an important local amenity for surrounding housing



## 1.11 ZEBON COPSE NEIGHBOURHOOD AREA

### LOCATION

This Neighbourhood Area lies on the south west edge of Church Crookham and is bounded by the Gally Hill area to the north east, Redfields Lane to the south and the Settlement Boundary elsewhere.

### HISTORICAL DEVELOPMENT

This area's development as part of the suburban area of Church Crookham is relatively recent, although some historic cottages and farmhouses on Watery Lane survive from the area's rural past. Development in the late 1970s and 1980s established a secondary frontage to the south west of Gally Hill Road including Coniston Way and Cavendish Gardens with Cavendish Road. Further large scale residential development in the 1990s and 2000s created an extensive area of cul-de-sacs which mostly radiate from a spinal route along the sinuous curves of Farmhouse Way and Brandon Road.

### GENERAL DESCRIPTION

Most of this area comprises late 20th and early 21st century housing, the largest area of which is along Farmhouse Way and Brandon Road, where there are groups of houses of varying sizes and types. In addition to the roadside pavements, a network of footpaths link areas of woodland and open green spaces which are also important as a wildlife habitat. Groups or lines of trees retained within the development provide a level of maturity to the landscaping.

The numerous small green open spaces relieve the built-up character of the area, whilst buildings are set out in small informal groups and spaces, avoiding the creation of monotonous street frontages. Nevertheless, the density of development does in places create a lack of space between the dwellings. The slightly older housing development at Coniston Way and Cavendish Road is arranged in a more regimented linear way, with consistently detailed buildings of a relatively standardised size and appearance. In both areas there is little division of front gardens from the pavement. The small enclave of older buildings at Watery Lane has a more rural character, whilst a small group of bungalows on Gally Hill Road provides an area of more mixed character, built to a lower scale and lower density.

## DESCRIPTION OF ZEBON COPSE CHARACTER AREAS

THE PRINCIPAL CHARACTER AREAS ARE:

### Area A: Watery Lane historic settlement area

- A small area containing historic housing including grade II listed Velmead Farmhouse, Meadow View Cottage and larger modern houses set in large plots
- One or two storeys
- Boundaries defined by high walls, hedges and timber post and rail fences
- Rural character reinforced by the numerous mature trees, small streams and narrow lanes



Typical Housing Density: 7 units/hectare

Sensitivity to change: High

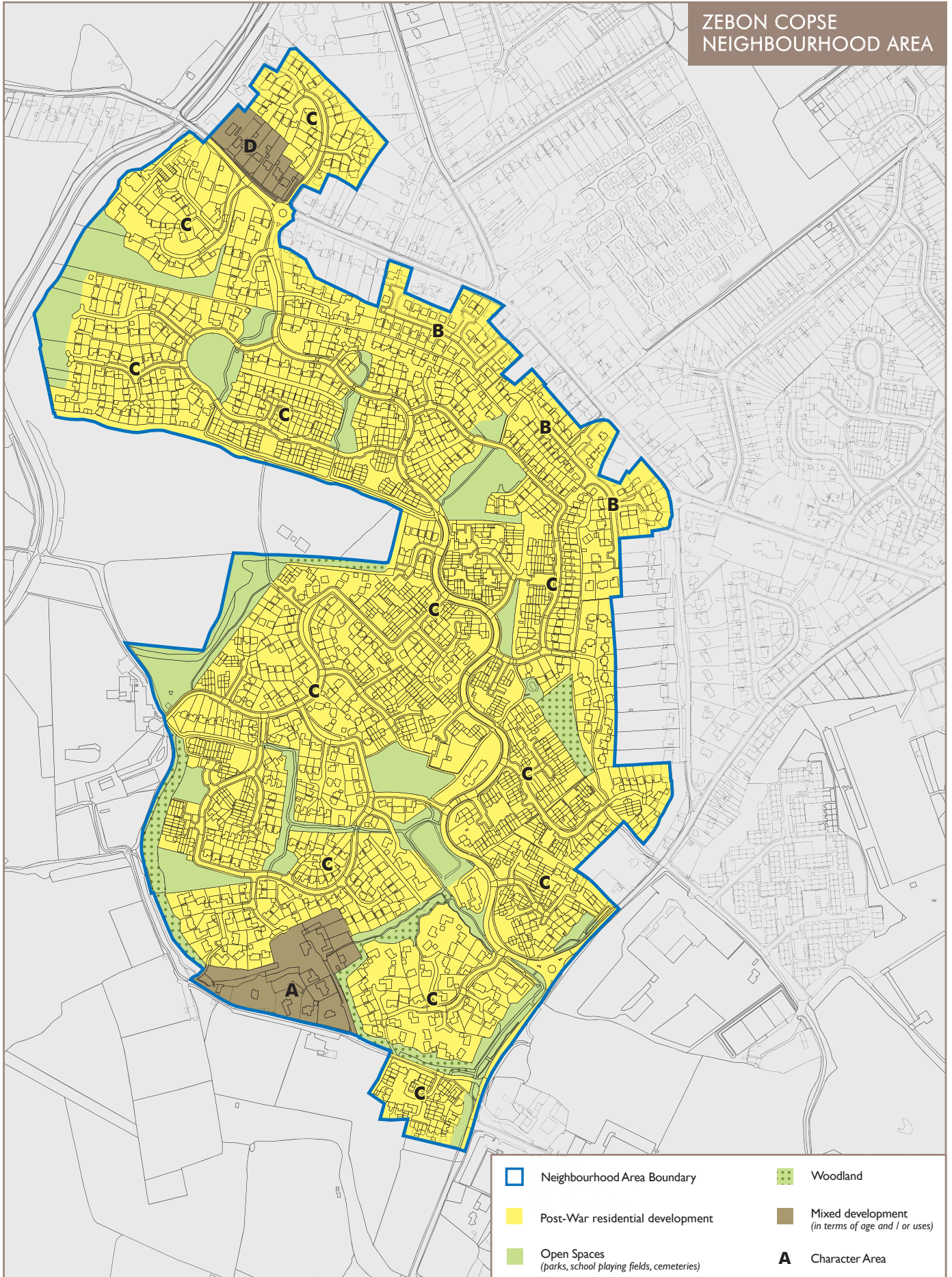
### Area B: 1960s – 1980s detached housing

- Large two storey cul-de-sac style development
- Detached houses with some semi-detached pairs
- Small groups of standardised design and materials
- Details include neo-Georgian doorcases, bow windows, tile hung or weatherboarded feature panels
- The buildings are closely spaced on plots which are nearly as broad as they are long



Typical Housing Density: 18 units/hectare

Sensitivity to change: Low



**Area C: 1990s – 2000s mixed housing estate**

- Areas of green open space interspersed with development, providing a 'green' setting to the buildings
- Very sinuous road network, designed to reduce traffic speeds
- Green pedestrian corridors
- Mixed detached, semi-detached, terraced and apartment housing
- Very dense development, two or two and a half storeys high, usually set in small, narrow plots
- Very mixed style and materials in some areas.
- Some areas of short terraces and apartment buildings in more standardised materials, e.g. red brick with concrete tile roofs
- Referenced styles include late Victorian, Gothic Revival, 'Tudorbethan', vernacular and Arts and Crafts



Typical Housing Density: 16 -37 units/hectare

Sensitivity to change: Low

**Area D: Mixed bungalow housing**

- A small linear area on The Street
- Single storey, with mixed Inter-War and Post-War origins
- Building lines are set back from the pavement
- Front boundaries of hedges

Typical Housing Density: 9 units/hectare

Sensitivity to change: Low



## DESIGN GUIDANCE FOR THE ZEBON COPSE NEIGHBOURHOOD AREA

**Area A**

- Protect the character of this distinctive location by retaining the tree lines along the narrow lanes and the small brooks or streams as wildlife corridors
- Whilst older buildings, including Velmead Farmhouse, should be protected, other buildings could be redeveloped
- New development in or adjacent to this area would need to respect the two storey scale of development, large plot sizes and deep set back from the road frontage

**Area B and C**

- Few opportunities for infill development in these areas – Area C is particularly densely developed
- Extensions to buildings should be in keeping with the style and materials of the building
- Some amalgamation of plots may be acceptable although new buildings should maintain the prevailing scale of development

**Area D**

- Given the large plot sizes there may be potential for redevelopment in the area
- Replacement buildings should not be more than two and a half storeys
- New development should respect the deep setbacks and preserve the boundary hedges